



Department of Public Works  
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**Deputy City Engineer**  
Gregory T. Fries, P.E.  
**Deputy Division Manager**  
Kathleen M. Cryan  
**Principal Engineer 2**  
John S. Fahrney, P.E.  
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Christina M. Bachmann, P.E.  
Mark D. Moder, P.E.  
James M. Wolfe, P.E.  
**Facilities & Sustainability**  
Bryan Cooper, Principal Architect  
**Mapping Section Manager**  
Eric T. Pederson, P.S.  
**Financial Manager**  
Steven B. Danner-Rivers

July 3, 2020

**NOTICE OF ADDENDUM  
ADDENDUM NO. 1**

**CONTRACT NO. 8850, PROJECT NO. 11971  
WARNER BEACH PARK SHELTER**

This addendum is issued to modify, explain or correct the original Drawings, Specifications, or Contract Documents marked as ***WARNER BEACH PARK SHELTER, City of Madison, Contract #8850, as issued on June 12, 2020*** and is hereby made a part of the contract documents.

This addendum consists of the following documents:

- **EXHIBIT K – EXISTING BUILDING DRAWINGS response to Bidder Question in Item #7**
- **Pre-Bid Walk Through Sign-in sheet and Minutes from June 24, 2020 in Item #7**

1. **GENERAL CONTRACT CONDITIONS**

None

2. **GENERAL QUESTIONS AND ANSWERS**

None

3. **ACCEPTABLE EQUIVALENTS**

- A. 08 41 13 Aluminum Framed Entrances and Storefronts
- i. Product: DeSCo i65 Series Fixed Windows

4. **SPECIFICATIONS**

None

5. **DRAWINGS**

None

6. **PROPOSAL**

No Revisions

7. **ADDITIONAL DOCUMENTS**

- A. Pre-Bid (Contractors) Meeting was held at 10:00 a.m. on Wednesday, June 24<sup>th</sup>, 2020 at the project site located at 1101 Woodward Drive. A copy of the pre-bid meeting minutes and attendee sign-in sheet are attached to this addendum for reference.

Revise and amend the contract document(s) for the above project as stated in this addendum, otherwise, the original document shall remain in effect.

Please acknowledge this addendum on page E1 of the contract documents and/or in Section E: Bidder's Acknowledgement on Bid Express.

Electronic version of these documents can be found on the Bid Express web site at:

<http://www.bidexpress.com>

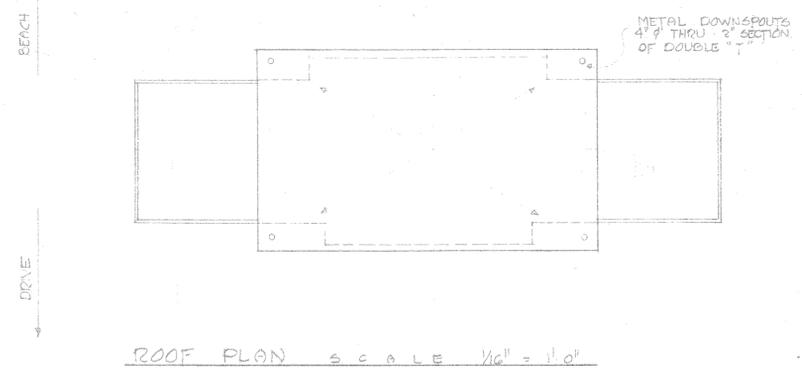
If you are unable to download plan revisions associated with the addendum, please contact the Engineering office at 608-266-4751 receive the material by another route.

Sincerely,

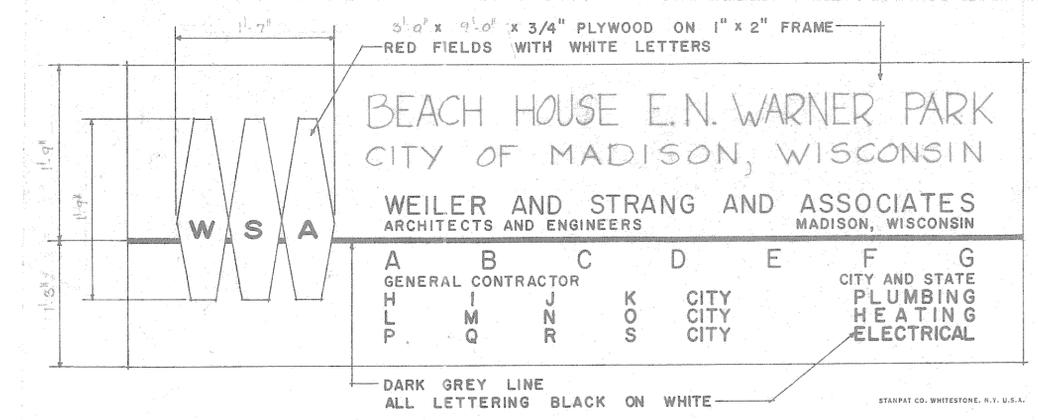
A handwritten signature in blue ink, appearing to read "R. F. Phillips", is written above a solid black horizontal line.

On behalf of Robert F. Phillips, P.E., City Engineer

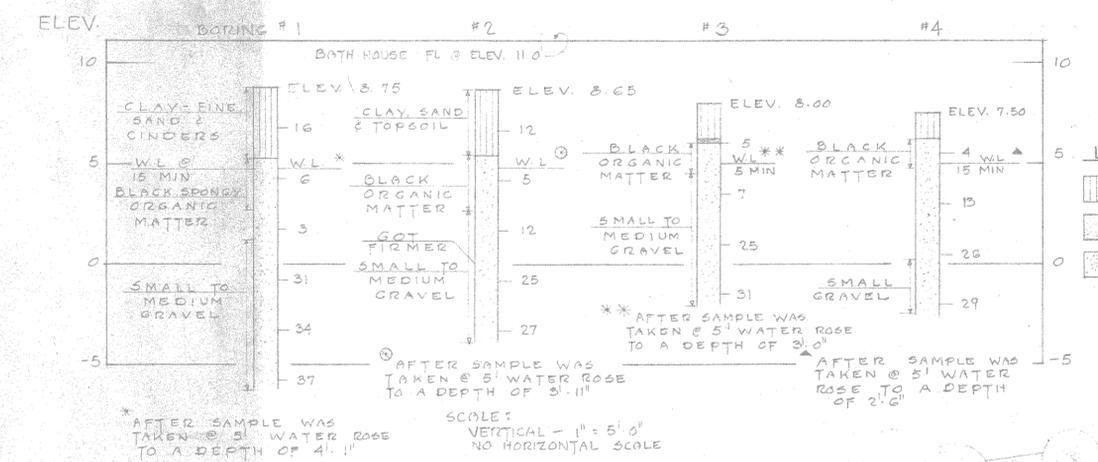
Cc: Greg Fries, Kathy Cryan



ROOF PLAN SCALE 1/16" = 1'-0"

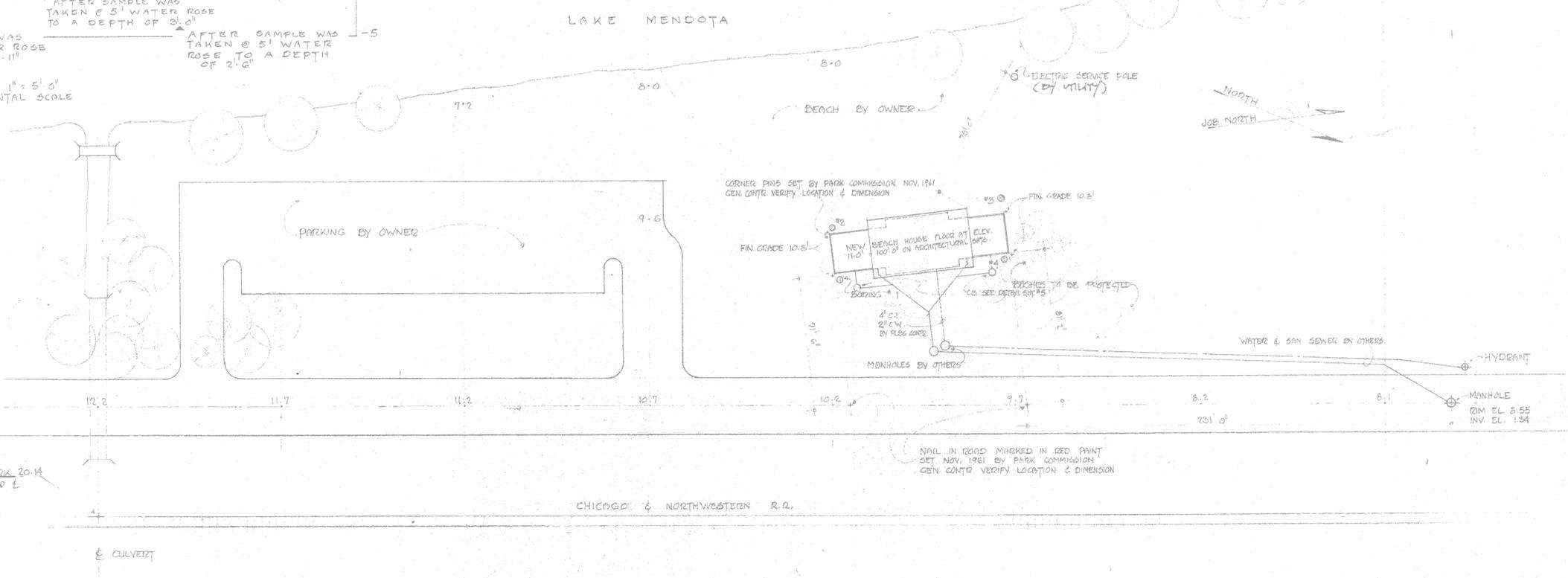


JOB SIGN SCALE 1" = 1'-0"



LEGEND  
 [Symbol] FILL  
 [Symbol] PEAT  
 [Symbol] GRAY FINE TO MEDIUM SAND WITH SOME BROKEN SHELLS

- NOTES:
- BORING ELEVATIONS OBTAINED WITH HAND LEVEL USING GAGE SET ON LOCH AT ELEVATION 10.00 AS BENCH MARK.
  - BORINGS WERE MADE USING STANDARD PROCEDURES WITH A 2" O.D. SPLIT SPOON.
  - FIGURES TO THE RIGHT OF EACH BORING LOG INDICATE THE NUMBER OF BLOWS REQUIRED TO DRIVE THE 2" O.D. SPLIT SPOON 12" USING A 140# WEIGHT FALLING 30 INCHES.
  - WATER LEVELS (W.L.) INDICATED WERE AT TIMES SHOWN AFTER COMPLETION OF THE BORINGS.



PLOT PLAN SCALE 1" = 40'-0"

GENERAL PLANS APPROVED

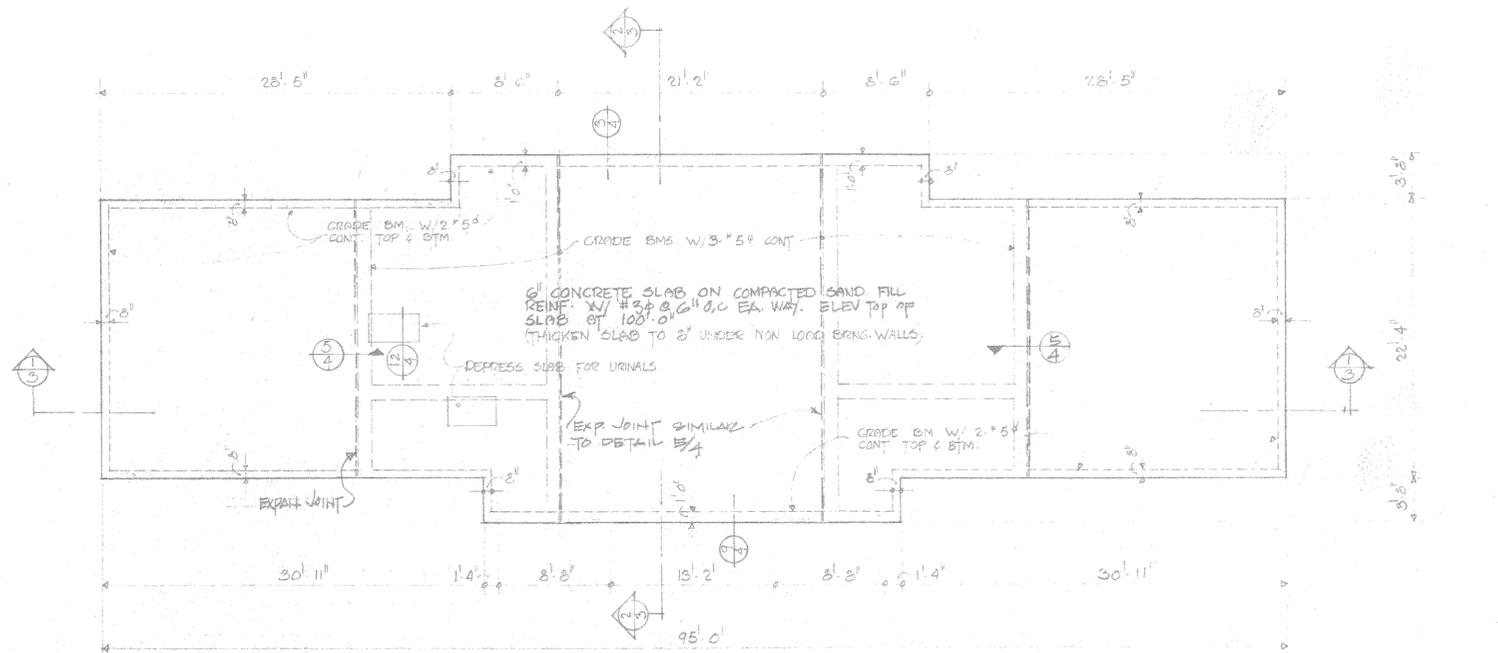
See Correspondence  
 JAN 26 1962  
 Industrial Commission of Wisconsin

*Joseph J. Schiller*  
 1/26/62

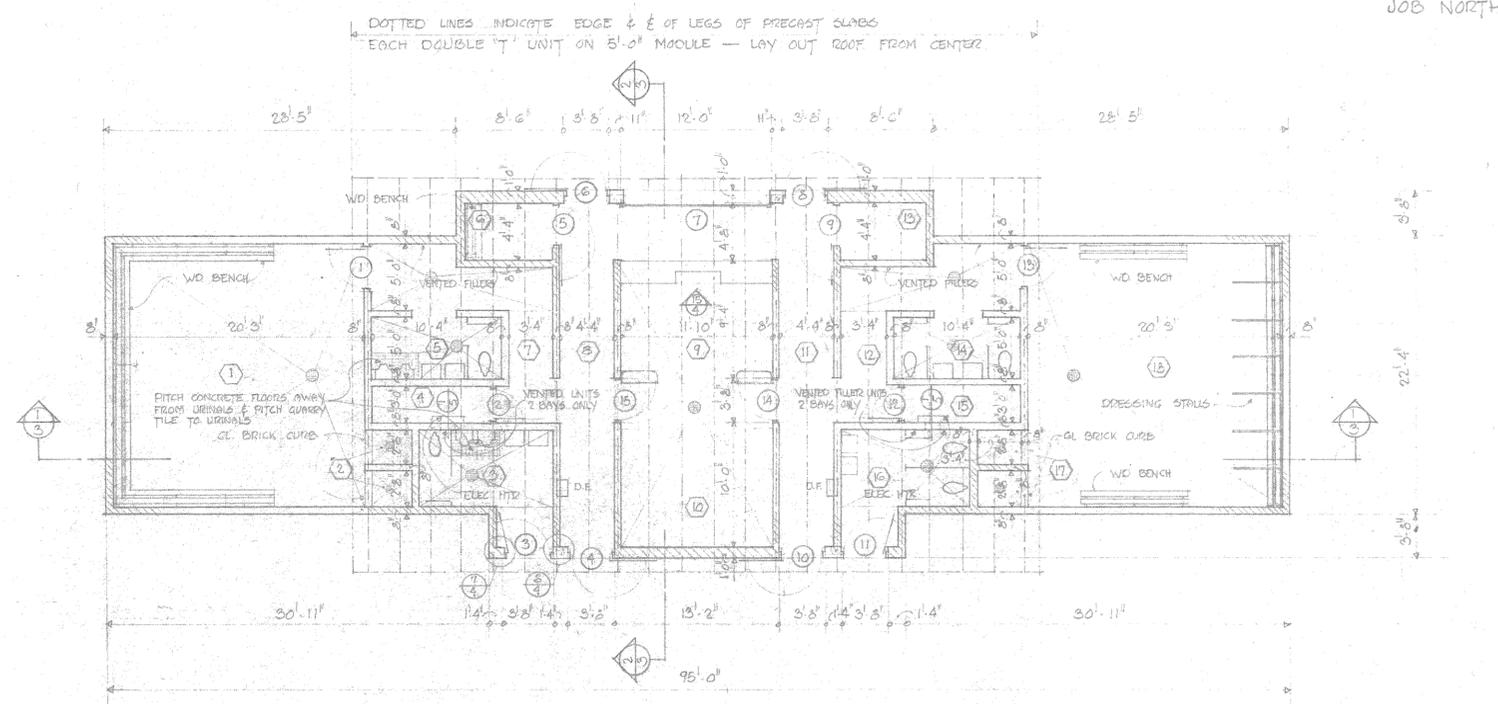
SHEET INDEX		MATERIAL SYMBOLS		SYMBOLS		BEACH HOUSE E.N. WARNER PARK CITY OF MADISON, WISCONSIN		COMM. 6142-D
1	PLOT PLAN & ROOF PLAN	[Symbol]	SOIL	[Symbol]	FINISH WOOD	[Symbol]	ROOM NUMBERS	WEILER AND STRANG AND ASSOCIATES ARCHITECTS AND ENGINEERS 810 UNIVERSITY BAY DRIVE MADISON 5, WIS. CEDAR 3-9753
2	PLANS & SCHEDULES	[Symbol]	GRAVEL	[Symbol]	PLYWOOD	[Symbol]	DOOR NUMBERS	
3	1/8" ELEVATIONS & SECTIONS	[Symbol]	CONCRETE	[Symbol]	STEEL	[Symbol]	COLUMN NUMBERS	
4	3/4" SECTIONS, MISCELLANEOUS DETAILS & ONE-OF WORK	[Symbol]	CONCRETE BLOCK	[Symbol]	BLANKET INSULATION	[Symbol]	DRAWING NUMBER ABOVE W/SHEET NUMBER BELOW	
5	MECHANICAL	[Symbol]	FACE BRICK	[Symbol]	RIGID INSULATION	[Symbol]	DRAWING NOT TO SCALE	
		[Symbol]	TILE	[Symbol]	SANDWICH PANEL			
		[Symbol]	STONE	[Symbol]	PLASTER			
		[Symbol]	DIMENSIONED LUMBER	[Symbol]	ACOUSTIC MATERIALS			

ROOM FINISH SCHEDULE									
NO	ROOM	FLOOR	SPACE	WALLS	CEILING	PAINTING	REMARKS		
		CONCRETE BLOCK 8" TH	GLAZED BRICK 3" CEILING	BRICK 8" / BRICK 12" / PRECAST FILLER NORTH WALL / SOUTH WALL / EAST WALL / WEST WALL	PRECAST STRUCTURE / OPEN	EMERALD GREEN & TERRAZZO / STAIN & VARNISH W.D. WK.	FILLER TOP OF BRICK WALL ○ SOLID ⊗ VENTED		
1	MEN'S DRESSING								
2	MEN'S EXHIBIT								
3	MEN'S TOILET								
4	STORAGE								(FOR LOCATION OF VENTED UNITS SEE PLAN)
5	MEN'S TOILET								
6	LIFE GUARD								
7	CORRIDOR								
8	CORRIDOR								
9	CONCESSION								
10	CORRIDOR								
11	CORRIDOR								
12	STORAGE								
13	WOMEN'S TOILET								
14	STORAGE								(FOR LOCATION OF VENTED UNITS SEE PLAN)
15	WOMEN'S TOILET								
16	WOMEN'S TOILET								
17	WOMEN'S SHOWER								
18	WOMEN'S DRESSING								

DOOR & HARDWARE SCHEDULE										
NO	LOCATION	SIZE	GROUP	TYPE	MATERIAL	FRAME	LUNNER	DETAIL	UNTEL	REMARKS
1	MEN'S DRESSING	3' x 6' x 1 3/4"	1	A	H.M.	H.M.		(1)		
2	STORAGE	2' x 6' x 1 3/4"	3	A	H.M.	H.M.		(2)		
3	MEN'S TOILET	3' x 6' x 1 3/4"	2	A	H.M.	H.M.		(3)		
4	CORRIDOR	3' x 6' x 1 3/4"	1	A	H.M.	H.M.		(4)		
5	LIFE GUARD	3' x 6' x 1 3/4"	5	A	H.M.	H.M.		(5)		
6	CORRIDOR	3' x 6' x 1 3/4"	1	A	H.M.	H.M.		(6)		
7	CONCESSION		C	ROLL UP STEEL	WOOD	FRAMING BY CORR. MFR.				
8	CORRIDOR	3' x 6' x 1 3/4"	1	B	H.M.	H.M.		(8)		
9	STORAGE	3' x 6' x 1 3/4"	5	A	H.M.	H.M.		(9)		
10	CORRIDOR	3' x 6' x 1 3/4"	1	A	H.M.	H.M.		(10)		
11	WOMEN'S TOILET	3' x 6' x 1 3/4"	2	A	H.M.	H.M.		(11)		
12	STORAGE	2' x 6' x 1 3/4"	3	A	H.M.	H.M.		(12)		
13	WOMEN'S DRESSING	3' x 6' x 1 3/4"	1	A	H.M.	H.M.		(13)		
14	CONCESSION - BENCH	3' x 2' x 1 3/4"	4	B	H.M.	H.M.				DUTCH CLIP
15	CONCESSION - BENCH	3' x 2' x 1 3/4"	4	B	H.M.	H.M.				DUTCH CLIP

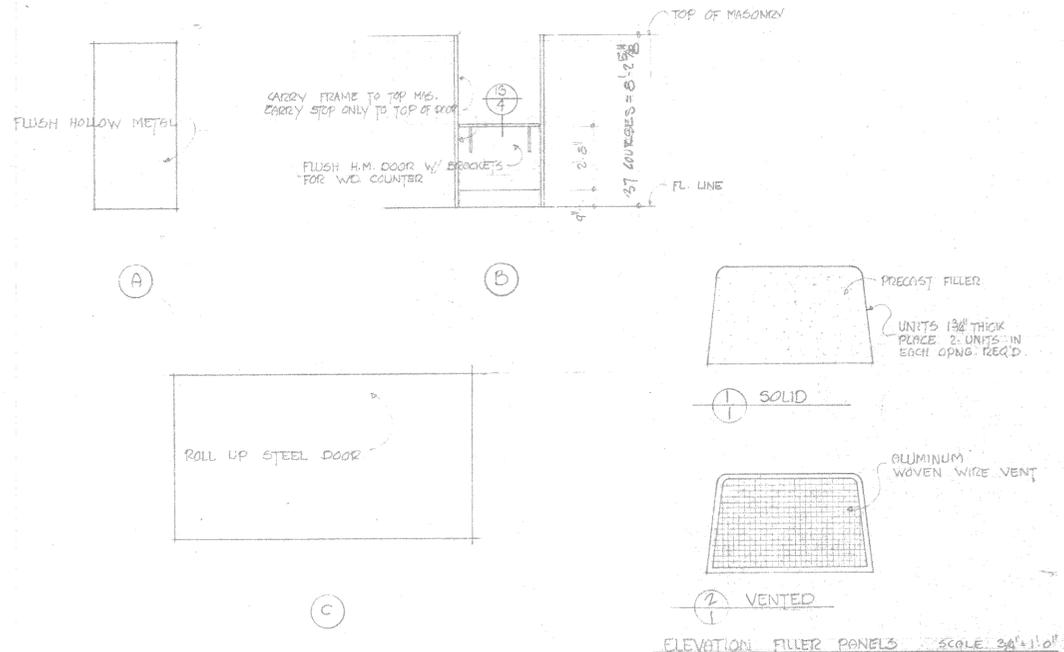


FOUNDATION PLAN SCALE 1/8" = 1'-0"  
NOTE: BAGG TAMP ALL EXCAVATIONS



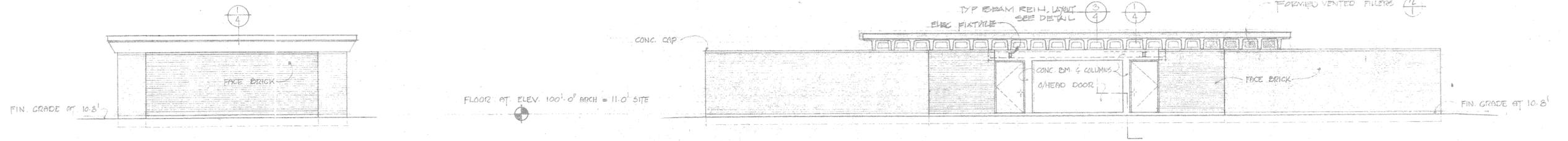
FLOOR PLAN SCALE 1/8" = 1'-0"

GENERAL CONTR. NOTES:  
SLOPE ALL FLOORS TO FLOOR DRAINS AT A MIN. SLOPE OF 1/4" PER FT.



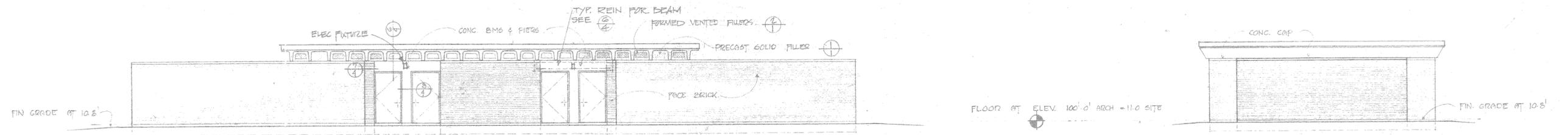
DOOR TYPES NO SCALE

BEACH HOUSE E.N. WARNER PARK CITY OF MADISON, WISCONSIN.		COMM. 6142-D
Drawn By: C.S.	Checked By: J.W.	WEILER AND STRANG AND ASSOCIATES ARCHITECTS AND ENGINEERS 810 UNIVERSITY BAY DRIVE MADISON 5, WIS. CEDAR 3-9753
Date: 1-9-62	Rev.:	SHEET <b>2</b>



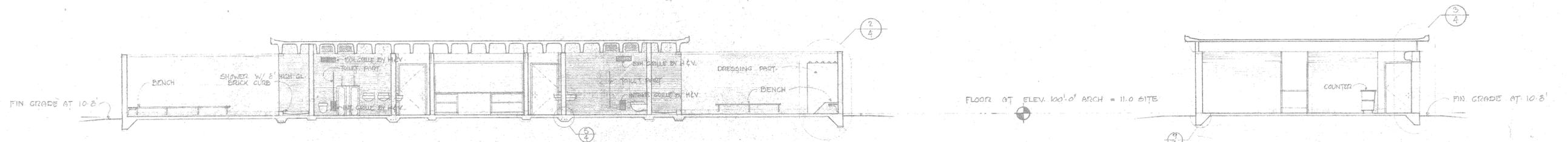
SOUTH ELEVATION SCALE 1/8" = 1'-0"

WEST ELEVATION SCALE 1/8" = 1'-0"



EAST ELEVATION SCALE 1/8" = 1'-0"

SOUTH ELEVATION SCALE 1/8" = 1'-0"



LONGITUDINAL SECTION SCALE 1/8" = 1'-0"

CROSS SECTION SCALE 1/8" = 1'-0"

BEACH HOUSE		E.N. WARNER PARK		COMM.
CITY OF MADISON, WISCONSIN				6142-D
Drawn By: C.S.	Checked By: J.S.	WEILER AND STRANG AND ASSOCIATES		SHEET
Date: 1-9-62	Rev:	ARCHITECTS AND ENGINEERS		3
		810 UNIVERSITY BAY DRIVE		
		MADISON 5, WIS. CEDAR 3-9753		







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Bryan Cooper, Principal Architect

**Mapping Section Manager**  
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**Financial Manager**  
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June 24, 2020

**Pre-Bid Meeting/Site Visit**  
**WARNER BEACH PARK SHELTER**  
**CITY OF MADISON - CONTRACT #8850**

**PURPOSE:** To clarify any concerns bidders may have with the solicitation documents, scope of work and other requirements.

**NOTE:** All questions or requests for clarifications regarding plans and specifications shall be published by Destree Design Architects and the CPM. Responses that change the contract scope and/or schedule will be published by Destree Design Architects and the CPM in the form of a bidding addendum that will be posted on Bid Express by the City of Madison.

**1. Project Overview**

- Demo of the existing beach house, slab and cap or abandon existing utilities as req'd.
- New Shelter building – this is the City's fifth prototype shelter; This shelter will include a pump room for the equipment needed for the Clean Beach enclosure system that will be installed under separate contract in Spring 2021;
- Site work including resurfacing and marking the existing parking lot after new bio-retention basins are added; bike parking stalls/racks; path to shelter and bike path with curb cut; dumpster enclosure with pad; piping to and from the new shelter pump room to the high water mark for the future beach enclosure system. Landscaping and Natural Play area will be completed by City of Madison Parks.

**2. City of Madison Team Introductions**

- City Project Manager (CPM): Laura Amundson
- Parks Project Manager: Sarah Lerner
- Jon Landsverk - Parks Operations (Not Present)
- John Fahrney – Engineering (Not Present)

**3. A/E Project Team Introductions**

- Destree Design Architects – Melissa Destree (Not Present) and Jason Ekstrom
- Burse Surveying & Engineering – Melissa Burse (Not Present) and Peter Fortlage (Not present)
- Hein Engineering – Mike Hein (Not Present)

**4. Attendee Introductions**

- Please see attached Sign-in

## 5. City of Madison Requirements - Overview

- Bid Requirements
  - i. Bids Due by 2:00 PM on Thursday, July 09, 2020
    - 1. Options
      - a. Electronically to Bid Express
      - b. Hand deliver to 1600 Emil St. to Alane Boutelle
        - i. Include Bid and SBE package.
        - ii. Door is locked but there is a sign with phone numbers on the door. Please call one of the numbers and staff will come to the door to receive your bid.
        - iii. Until further notice, bid openings will be closed to the public but will be posted online after bid opening on the Public Works Contracts webpage.
- SBE Requirements – Contract Section C
  - i. Meetings are not being held in-person. Contractors can schedule one-on-one phone calls with Jaun Pablo Torres Meza in Affirmative Action to count towards good faith efforts. 608-261-9162 or jtorresmeza@cityofmadison.com
- Bid Bonds – Contract Section G
- Permits – Spec 00 31 46: GC responsible for obtaining all permits, inspections, and associated fees. City has secured and will pay fees listed in the Spec and Exhibits (City Building, City Plumbing; City Temp Sewer Plug; City Erosion & Storm Water permits; DNR General Permit-Grading <1 acre;
- Product Substitution Requirements
  - i. Specification Section 00 43 25 Substitution Request Form (During Bidding)
    - 1. Deadline by 5:00 p.m. Friday, June 26, 2020
  - ii. Specification Section 01 25 13 Product Substitution Procedures (After Bidding)

## 6. Project Special Requirements

- Asbestos report (Exhibit C) for the existing beach house; Will need DNR demo permit; Provide certified asbestos sub-contractor info prior to beginning work. All disposal manifests delivered to CPM
- Completion date of April 30<sup>th</sup> is required in order to run the beach enclosure equipment (separate contract) that will be put in the pump room. System needs to be functional early in the season to get ahead of beach conditions.
- City has COVID-19 requirements of jobsite employees and suppliers. See Exhibit J.

## 7. Schedule

- June 24 - Pre-Bid Meeting
- June 26 – Last day to request substitutions
- July 2 - GC's Prequalification application due by 2:00 PM
- July 3 - Last day City will accept questions from Contractors
- July 7 - City posts Addendum on Bid Express if required
- July 9 - Bids due by 2:00 PM either via Bid Express or to 1600 Emil St.
- July 9 - Bids opened starting at 2:30 PM
- ~Sept 8 – Start Work Letter issued/Pre-Con meeting

**8. Site Visit**

- Contractors are invited to enter the existing Beach House, one contractor group at a time in order to maintain social distancing protocols.

**9. Questions/General Discussion**

Q1: What is the foundation of the existing building?

A1: Existing plans show grade beams at the building perimeter and thickened slab under non load bearing masonry walls. See Addendum 1, Exhibit K

Q2: Is the GC responsible for asbestos abatement?

A2: Yes. See Special Provisions Section 104; 105.13; 108.2; and Exhibit C

Q3: Is the GC responsible for temporary facilities?

A3: Yes. See Special Provisions Section 105.12 and Specification 01 50 00 Temporary Facilities and Controls

Q4: Can submittals and other project paperwork be started before the official start work letter is received?

A4: The Start Work letter must be issued before work can proceed.

**Warner Beach Park Shelter  
Contract # 8850  
Pre-Bid Meeting/Site Visit  
Wednesday, June 24, 2020, 10:00 am**

**ATTENDEES  
PLEASE SIGN-IN**

NAME	COMPANY	EMAIL	PHONE
LOU OLSON	FINDAFFT	madisonbids@findafft.com lolson@findafft.com	442-7368

**Jeremy Vaske**  
Pre-Construction Manager / Sr. Estimator



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**Margaret Andrews**  
Project Manager



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**Casey Ward**  
Project Manager

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**NICHOLAS J. BEIL**  
PROJECT MANAGER

P.E. STATE OF WISCONSIN



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Fax 608.271.4570  
Cell 608.576.7725

**Kurt Femrite**  
Project Manager  
kfemrite@danielsco.com

**Ricky Hunt Sr.**  
President  
(608) 301-6964



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We Deliver Perfection

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**Tri-North**  
BUILD SMART.

**Kris Benish**  
General Superintendent

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